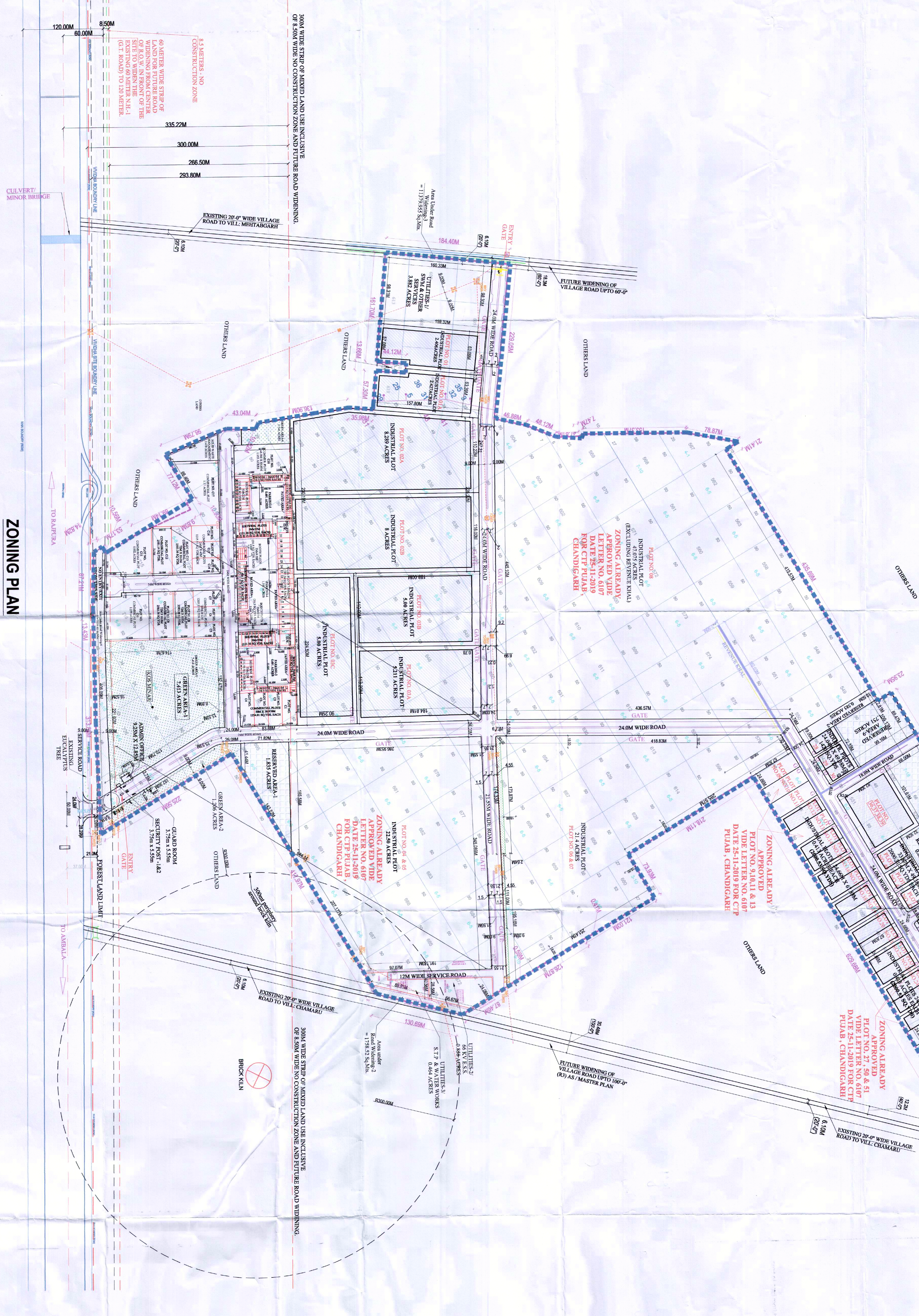


- DISPENSARY**
1. Set back :- As shown on the drawing or 5.00 mt. whichever is more and as per table sub rule (1) of Rule 26 of PUPD Building rules 2021 as amended from time to time.
 2. Height :- There shall be no restriction regarding height of the building subject to the clearance from the Airport Authority of India and fulfillment of norms such as seismic structural safety and the safety norms as per the rule 11 of Rule 6 of PUPD Building rules 2021 as amended from time to time.
 3. Ground Coverage :- Maximum :- 45%.
 4. Maximum F.A.R. :- 11.75 However F.A.R above 11.50 shall be chargeable on porcha basis.
 5. Parking :- 20 E.C.S/100 sq.mt of the total floor area ratio.
 6. Height of boundary wall shall be 3'-0" high solid wall + 3'-0" high grill along road
 7. Gates post shall be recessed 10'-0" from building wall
 8. In case of new school area of 1 acre or above, the front boundary wall shall be recessed by 5m to accommodate visitors parking within setback area.
 11. Up to 15% of the total Floor Area Ratio area in educational buildings shall be permissible for the housing of staff or workers.
- HIGH SCHOOL**
1. Set back :- As shown on the drawing or 5.00 mt. whichever is more and as per table sub rule (1) of Rule 26 of PUPD Building rules 2021 as amended from time to time.
 2. Height :- There shall be no restriction regarding height of the building subject to the clearance from the Airport Authority of India and fulfillment of norms such as seismic structural safety and the safety norms as per the rule 11 of Rule 6 of PUPD Building rules 2021 as amended from time to time.
 3. Ground Coverage :- Maximum :- 45%.
 4. Maximum F.A.R. :- 11.50
 5. Parking @ 5 E.C.S/100 sq.mt of the total floor area ratio.
 6. Height of boundary wall shall be 3'-0" high solid wall + 3'-0" high grill along road side and 5'-0" high solid wall along other sides.
 7. Minimum 15% of the area shall be kept / developed as playground with minimum width of 15m.
 8. Gates post shall be recessed 10'-0" from building wall
 9. In case of new school area of 1 acre or above, the front boundary wall shall be recessed by 5m to accommodate visitors parking within setback area.
 10. In case of new school area of 1 acre or above, the front boundary wall shall be recessed by 5m to accommodate visitors parking within setback area.
 11. Up to 15% of the total Floor Area Ratio area in educational buildings shall be permissible for the housing of staff or workers.

ZONING PLAN



- 2) GROUND COVERAGE :-**
- (1) The maximum permissible ground coverage shall be 65% of the plot area.
 - (2) Building shall be constructed within the area shown thus ☐ on this zoning plan.
- 3) F.A.R. :-**
- The maximum Floor Area Ratio (F.A.R.) shall be limited, subject to fulfillment of building control such as ground coverage, setbacks around building, parking norms, light and ventilation, height, fire and structural safety.
- 4) SETBACK AND SETBACK :-**
- (1) The maximum permissible height of the building shall be below 15 meters (Excluding equipment, machinery such as chimney, boiler plant, hammer, etc., irrespective of the height). However clearance from the Airport Authority of India and fulfillment of norms as per Rule 11 of Rule 6 of PUPD Building rules 2021 as amended from time to time is required.
 - (2) The minimum height of the building shall be 3 meters.
 - (3) For corner plot and 2025 sq.mt. area in size, the side setback adjoining to the side road may be waived and shall not be less than 3.00m from the boundary of plot as per sub rule (1) of Rule 26 of PUPD building rules 2021 as amended from time to time.
- 5) BOUNDARY WALL & GATES :-**
- (1) For post sides and open sides shall be 0.50 mt. high solid wall with 0.50 mt. high prefabricated CHU. Wall and on corner sides shall be 1.80 mt. high solid brick walls.
 - (2) Position of the gates shall be as indicated on the plan as 'G'. Gates shall be recessed 10'-0" from plot boundary.
 - (3) Boundary wall may be allowed to be constructed in no construction zone after leaving the road widening if required subject to the condition that the owner shall demarcate the boundary wall as and when required by any Government agency/building without any claim.
- 6) PROJECTION & BALCONIES :-**
- Projection & Balconies shall be as per Rule no. 26 (3) of PUPD Building Rules 2021 as amended from time to time.
- 7) PARKING :-**
- a) Parking shall be @ 1.00 E.C.S/100 sq.mt. (upto 2.00 acres) and 0.75 E.C.S/100 sq.mt. (above 2.00 acres) of the total Floor Area Ratio as per PUPD Building rules 2021 and as amended from time to time.
 - b) Addition to the parking spaces provided, a space at the rate of 3.5 m x 7.5 m, shall be provided for loading and unloading activities.
 - c) For the open parking of 100 cars or less, the parking spaces shall be as under.
 - d) For open parking 25 Sq.mt. per E.C.S.
 - e) For Ground Covered parking 25 Sq.mt. per E.C.S.
 - f) For Basement 32 Sq.mt. per E.C.S.
- 8) BASEMENT :-**
- (1) The multi-level basement in plots of an area above 2025 sq.mt. shall be allowed below the ground and beyond the building line at ground level subject to a clear minimum front margin of 4.50 mt. and side and rear margins of 3 mt., subject to the provision of mechanical ventilation and a proper drainage system. The basement shall be designed for fire fighting vehicular loads as given in clause 4.6 of Part III of the National Building Code of India 2016, as amended from time to time.
 - (2) The owner or the applicant, as the case may be, shall be bound to execute indemnity bond in favour of the Competent Authority.
 - (3) The basement shall be upto 2025 sq.mt. single story basement is allowed upto covered area subject to the condition that the owner shall leave minimum 2.44 mt. (8'-0") setback from the boundary wall of the plot. Provided that the above condition of 2.44 mt. (8'-0") setback from the adjoining plot shall not be mandatory if adjoining plot does not have a building upto 2.44 mt. (8'-0") from the plot line.
 - (4) Basement shall not be allowed in the case of No Construction Zone or Green Area or any other area.
 - (5) Adequate arrangement shall be made that surface drainage does not enter the basement.
 - (6) Other condition regarding basement shall be applicable as per Rule 30 (b) of PUPD building rules 2021 as amended from time to time.
- 9) STAIRCASE, LIFTS, RAMPS AND CORRIDOR**
- Provision of the Staircases, Lifts, Ramps and corridors shall be as per S. no. 11, 12 and 26 of Sub Rule (1) Rule 6 (A) of the PUPD Building Rules 2021 as amended till date and as per NBC 2015 amended from time to time.
- 10) EXTRACTION OF GROUND WATER RESOURCES :-**
- As per Memo No. PUD/C&D/17/13-16 dated 27/02/2013 Restrictions in the area are imposed on construction and installation of any new structure for extraction of ground water resources without prior specific approval of the Authorized Officer (Deputy Commissioner) of the District and subject to the guidelines safeguards envisaged from time to time in the connection by Authority for ground water extraction and rain water harvesting/charging etc.
- 11) PLANT LEVEL :-**
- (1) The level as 450mm from the ground of the adjoining road in front or as specified by the competent Authority from time to time.
 - (2) Provided that for detached building, the plinth level may be more than 450mm provided further that the level of front courtyard of any building shall not exceed 450mm and the ramp from the front road to the courtyard shall be within the plot boundary.
 - (3) Plinth level shall be as per the provision of the PUPD Building Rules 2021 as amended from time to time.
- 12) SET BACK OF PHOTOVOLTAIC INSTALLATION OF ROOF LEVEL :-**
- Roof top Solar Photovoltaic Installation shall be provided as per Pimpri Urban Planning and Development Building Rules, 2021 and as amended from time to time.
- 13) RAIN WATER HARVESTING :-**
- Rain water harvesting and ground water recharging system shall be as per Rule no. 47 of Pimpri Urban Planning and Development Building Rules, 2021 and as amended from time to time.
- 14) PROVISIONS FOR TREE PLANTATION :-**
- (1) The provision of tree planting Energy Conservation Building Code shall be applicable to the building areas in accordance with the notification of the Government of India, dated 14/11/2018, and as amended from time to time.
 - (2) The applicant/owner shall submit a certificate from an architect/Civil Engineer confirming that the building plans conform to the approval of building plan.
 - (3) The applicant/owner shall submit a certificate from an architect/Civil Engineer confirming that the building plans conform to the approval of building plan.
 - (4) The applicant/owner shall submit a certificate from an architect/Civil Engineer confirming that the building plans conform to the approval of building plan.
- 15) ROOF TOP SOLAR PHOTOVOLTAIC INSTALLATION :-**
- Roof top Solar Photovoltaic Installation shall be provided as per Pimpri Urban Planning and Development Building Rules, 2021 and as amended from time to time.
- 16) ENERGY EFFICIENCY :-**
- (1) The provision of tree planting Energy Conservation Building Code shall be applicable to the building areas in accordance with the notification of the Government of India, dated 14/11/2018, and as amended from time to time.
 - (2) The applicant/owner shall submit a certificate from an architect/Civil Engineer confirming that the building plans conform to the approval of building plan.
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 - (4) The applicant/owner shall submit a certificate from an architect/Civil Engineer confirming that the building plans conform to the approval of building plan.
- 17) SOLAR WATER HEATING SYSTEMS :-**
- Solar water heating systems shall be as per Rule no. 47 of PUPD Building Rules 2021 as amended from time to time.
- 18) COUNTRY/ROAD OPEN SPACES :-**
- (1) The minimum area of every closed or partially closed courtyard of any building shall be 200 sq.mt. and shall not be less than 2.44 mt. (8'-0") from the boundary wall of the building.
 - (2) The minimum width of the outer courtyard/open spaces shall be not less than 2.44 mt. (8'-0") from the boundary wall of the building.
 - (3) The minimum width of the outer courtyard/open spaces shall be not less than 2.44 mt. (8'-0") from the boundary wall of the building.
 - (4) The minimum width of the outer courtyard/open spaces shall be not less than 2.44 mt. (8'-0") from the boundary wall of the building.
- 19) ADJACENT SPACES :-**
- (1) The minimum area of every closed or partially closed courtyard of any building shall be 200 sq.mt. and shall not be less than 2.44 mt. (8'-0") from the boundary wall of the building.
 - (2) The minimum width of the outer courtyard/open spaces shall be not less than 2.44 mt. (8'-0") from the boundary wall of the building.
 - (3) The minimum width of the outer courtyard/open spaces shall be not less than 2.44 mt. (8'-0") from the boundary wall of the building.
 - (4) The minimum width of the outer courtyard/open spaces shall be not less than 2.44 mt. (8'-0") from the boundary wall of the building.
- 20) ADJACENT SPACES :-**
- (1) The minimum area of every closed or partially closed courtyard of any building shall be 200 sq.mt. and shall not be less than 2.44 mt. (8'-0") from the boundary wall of the building.
 - (2) The minimum width of the outer courtyard/open spaces shall be not less than 2.44 mt. (8'-0") from the boundary wall of the building.
 - (3) The minimum width of the outer courtyard/open spaces shall be not less than 2.44 mt. (8'-0") from the boundary wall of the building.
 - (4) The minimum width of the outer courtyard/open spaces shall be not less than 2.44 mt. (8'-0") from the boundary wall of the building.

ARCHITECT

DRAWING NO. ZP-01

CHECKED BY Ar. C.P. Kaurhal

DATE 27-01-2023

DEALT BY Rakesh Nigrah

SCALE 27-01-2023

TITLE: ZONING PLAN

CLIENT

THE CREATORS

architects interior designers planners, urban designers & valuers

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