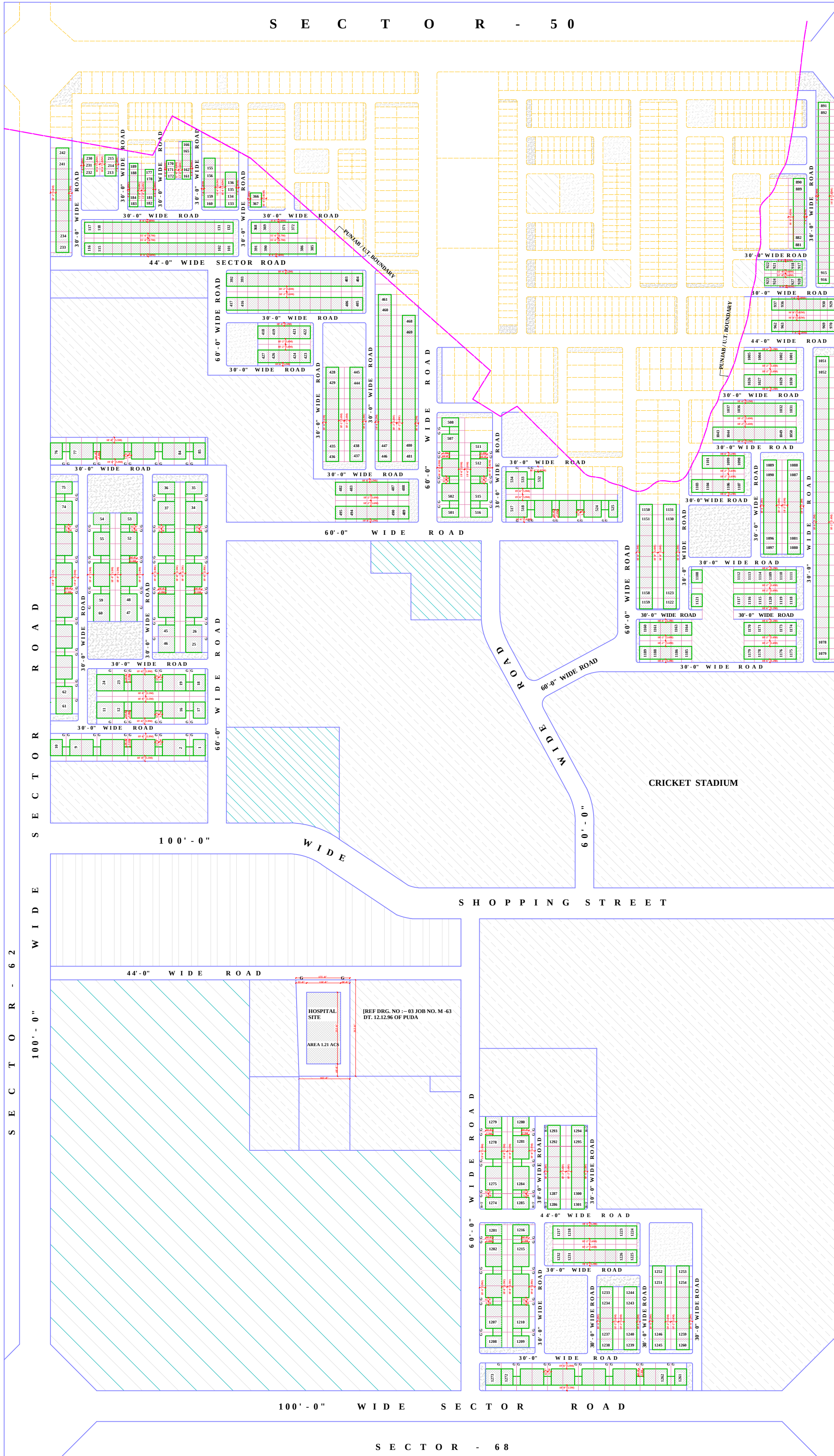




S.A.S. NAGAR URBAN ESTATE SECTOR-63

THE REQUIREMENTS OF THIS ZONING PLAN SHALL HAVE TO BE FULFILLED IN ADDITION TO THE BUILDING REQUIREMENTS CONTAINED IN THE PUNJAB URBAN ESTATE DEVELOPMENTS & REGULATIONS RULES, 1974 MADE UNDER SECTION 23 OF THE PUNJAB URBAN ESTATE ACT, 1964

ZONING CLAUSES :-

1) USE ZONES:-

THE USES OF LAND AND THE TYPE OF BUILDING TO BE CONSTRUCTED THERE ON SHALL BE GOVERNED IN ACCORDANCE WITH THE USES MENTIONED IN THE TABLE BELOW AND IN NO OTHER MANNER WHAT SO EVER.

NOTATION	PERMISSIBLE USE OF LAND	TYPE OF BUILDINGS PERMISSIBLE
	ROADS	ROAD, STREET FURNITURE & AMENITIES SUB SERVIENT TO TRAFFIC & TRANSPORTATION.
	OPEN SPACES	RESERVED PUBLIC OPEN SPACE, PUBLIC, PLOTS, LAND SCAPING, FEATURES, PAVED FOOTWAYS, PUBLIC AMENITIES FACILITIES & ANY OTHER ACTIVITY SUB SERVIENT TO RECREATION.
	RESIDENTIAL	MAIN RESIDENTIAL BUILDING, BARSATI & MUMTI.
	RESIDENTIAL	ANCILLARY BUILDING INCLUDING GARAGES, SERVANT QUARTERS ETC. & AMENITIES, SUB SERVIENT TO RESIDENTIAL.
	RESERVED FOR HOUSING BOARD	RESIDENTIAL.
	COMMERCIAL	SHOP, RESTAURANT, OFFICE, BANKS, CATERING, INCLUDING RESIDENTIAL, BUILDINGS APPURTINENT TO THESE AS MAY BE DETAILD.
	RESERVED FOR SPECIAL USE	PUBLIC & COMMUNITY BUILDINGS, PUBLIC SERVICES, UTILITIES OR USES AS PER DETERMINED BY THE CHIEF ADMINISTRATOR IN CONSULTATION WITH THE CHIEF TOWN PLANNER & CONFIRMED IN SUPPLEMENTARY ZONING PLAN.

2) SITE COVERAGE & FLOOR SPACE INDEX:-

- A SITE COVERAGE SHALL BE AS PER RULE NO. 14 OF THE PUNJAB URBAN ESTATE DEVELOPMENT & REGULATIONS RULES, 1974.
- B. NOT WITH STANDING ANYTHING CONTAINED IN CLAUSE B, FLOOR SPACE INDEX IN CASE OF PLOTS UP TO 10 MARLA SHALL NOT EXCEED 150 (MAXIMUM PERMISSIBLE SITE COVERAGE) & IN CASE OF PLOTS BEING 10 MARLA & ABOVE SHALL NOT EXCEED 100 (MAXIMUM PERMISSIBLE SITE COVERAGE) IN CASE OF MULTISTORY BUILDINGS. COMMERCIAL BUILDINGS, PUBLIC & COMMUNITY BUILDINGS OR ANY OTHER BUILDING NOT COVERED IN FORESAID CLAUSES SHALL BE AS PER THE ZONING PLAN ISSUED AND APPROVED BY CHIEF TOWN PLANNER.

NOTE :-

FLOOR SPACE INDEX SHALL MEAN THE NUMBER OBTAINED BY DIVIDING THE TOTAL FLOOR AREA ON ALL THE FLOORS OF THE BUILDING BY THE TOTAL AREA OF THE SITE AND MULTIPLIED BY HUNDRED.

3) BARSATI:-

- A. BARSATI, MUMTI, WATER TANKS ETC. SHALL BE PART OF THE COVERAGE AS PER FRAME CONTROL SHEETS OR BUILDING CONTROL SHEETS FOR 10 MARLA PLOTS.
- B. BARSATI, MUMTI, WATER TANK ETC. SHALL NOT COVER MORE THAN 25% OF THE PERMISSIBLE COVERED AREA ON GROUND FLOOR FOR 10 MARLA AND ONE KANAL PLOTS.

4) BUILDING LINE:-

- A. NO BUILDING SHALL BE ALLOWED TO PROJECT BEYOND THE FRONT, REAR AND SIDE BUILDING LINES SHOWN THUS ON THE ZONING PLAN. WHERE NO BUILDING LINE IS SHOWN, THE BUILDING SHALL COMPLY WITH THE FRAME CONTROL SHEETS FOR 10 MARLA PLOTS.
- B. NOT WITH STANDING ANYTHING CONTAINED IN THE ABOVE PROVISIONS, COMMON PARTY WALL SHALL COMPULSARILY PROJECT BY 4.67 M (15'-0") FROM THE FRONT & REAR FACES OF THE BUILDING IN CASE OF PLOTS UNDER FRAME CONTROL.
- C. NOT WITH STANDING ANYTHING CONTAINED IN THE SUB CLAUSE (a) NO THING SHALL BE PERMITTED TO PROJECT BEYOND THE FRONT, REAR AND SIDE BUILDING LINES.
- D. OPEN CANTILEVERED BALCONY OR PROJECTION (NOT BELOW THE LEVEL 6'-0" FROM P.L.) UP TO 1.20 M (4'-0") FROM FRONT, REAR FACES OF THE BUILDING AND ON THE SIDE 1.20 M (4'-0") IN CASE OF ONE KANAL PLOTS & 1.47' IN CASE OF 10 MARLAS PLOTS EXCEPT FOR THE PLOTS UNDER THE BUILDING CONTROL & FRAME CONTROL. HOWEVER IN CASE A BUILDING IS SET BACK ON FRONT, REAR AND SIDE MORE THAN THAT REQUIRED IN THE ZONING PLAN, THE OPEN CANTILEVERED BALCONY MAY BE ALLOWED UP TO A MAXIMUM OF 2.13 M (7'-0") BUT IN NO CASE PROJECTING MORE THAN 1.20 M (4'-0") BEYOND THE PRESCRIBED BUILDING LINE IN THE ZONING PLAN.

5) HEIGHT:-

- A. THE NUMBER OF STOREYS IN A BUILDING SHALL NOT EXCEED TWO (EXCLUDING BARSATI FOR ALL PLOTS INCLUDING THOSE COVERED BY FRAME & BUILDING CONTROL SHEETS. THE MAXIMUM HEIGHT OF BUILDING SHALL BE AS FOLLOWS:

PLOT NO.	TYPE OF BUILDING PERMITTED	PERMISSIBLE HEIGHT FROM P. L. TO TOP OF PARAPET / BARSATI
1 TO 10, 51, 120 TO 508, 512 TO 525, 532 TO 534, 1206 TO 1216, 1260 TO 1265.	RESIDENTIAL	(a) SINGLE STOREY 3.66 METRES (12'-0") (b) DOUBLE STOREY 7.32 METRES (24'-0")
1 TO 10, 51, 120 TO 508, 512 TO 525, 532 TO 534, 1206 TO 1216, 1260 TO 1265.	RESIDENTIAL	(a) SINGLE STOREY 3.66 METRES (12'-0") (b) DOUBLE STOREY 7.32 METRES (24'-0")
ANY OTHER TYPE OF BUILDINGS.		AS PRESCRIBED IN ALL SUPPLEMENTARY ZONING PLAN.

- B. THE CLEAR HEIGHT FROM FLOOR TO CEILING IN CASE OF BASEMENT, GARAGE, STORE, TOILET, BARSATI, MUMTI SHALL NOT BE LESS THAN 2.28 METRES (7'-6").
- C. THE TOTAL HEIGHT IN CASE OF OTHER BUILDING SHALL BE PRESCRIBED BY THE CHIEF TOWN PLANNER IN THE ZONING PLAN AS ISSUED BY CHIEF BUILDING.

6) PLINTH LEVEL:-

UNLESS OTHERWISE SPECIFIED BY THE CHIEF ENGINEER, PUBLIC HEALTH, PUNJAB, PLINTH HEIGHT IN CASE OF BUILDING INTENDED FOR HUMAN HABITATION SHALL NOT BE LESS THAN 0.304 METRE (1'-0") ABOVE THE FINISHED LEVEL OF ROAD STREET AND IN CASE OF OTHER ANCILLARY ATTACHED BUILDINGS SHALL NOT BE LESS THAN 0.304 (1'-0").

7) FRAME & BUILDING CONTROL:-

- A. IN ADDITION TO CONDITIONS LAID DOWN IN THIS ZONING PLAN IN CASE OF BUILDINGS ON PLOTS LESS THAN 10 MARLA SHALL CONFORM TO ALL BUILDING & SITE CONDITIONS AS CONTAINED IN THE RESPECTIVE FRAME CONTROL SHEETS, APPROVED BY CHIEF ADMINISTRATOR IN CONSULTATION WITH CHIEF TOWN PLANNER, PUNJAB.
- B. IN CASE OF SITES FOR COMMERCIAL & PUBLIC PURPOSES THE BUILDINGS SHALL CONFORM TO ALL RESTRICTIONS & SPECIFICATIONS AS CONTAINED IN THE RESPECTIVE BUILDING CONTROL SHEETS APPROVED BY CHIEF ADMINISTRATOR IN CONSULTATION WITH CHIEF TOWN PLANNER, PUNJAB.

8) RESTRICTION ON ACCESS FROM 30.48 M (100'-0")

IN CASE OF PLOTS